

After Recording Return To:

Troy L. Bentson
Bentson Law Office, P.C.
2075 Charlotte Street, Suite 3
Bozeman, MT 59718

**SECOND AMENDMENT TO THE DECLARATION FOR CARDINAL
CONDOMINIUM**

The SECOND AMENDMENT to the DECLARATION FOR CARDINAL CONDOMINIUM (hereinafter referred to as the "Second Amendment") is executed upon the date found at the conclusion of this document by WENDEROTH INVESTMENTS LLC and CHRISTOPHER W. DAHL AND LESLIE J. DAHL, who collectively own more than seventy-five percent (75%) of all the Units in CARDINAL CONDOMINIUM. Reference is made to the DECLARATION FOR CARDINAL CONDOMINIUM, recorded on November 12, 2004, at 10:54 a.m., as Document No. 2169776 at the office of the Clerk and Recorder of Gallatin County, Montana, and the First Amendment to the Declaration for Cardinal Condominium, recorded on March 11, 2005, at 4:24 p.m., as Document No. 2183989 at the office of the Clerk and Recorder of Gallatin County, Montana (hereinafter referred to collectively as "Declaration").

R E C I T A L S

1. That WENDEROTH INVESTMENTS LLC, CHRISTOPHER W. DAHL, LESLIE J. DAHL, JOSEPH M. REMITZ, BETH J. REMITZ, and JOSEPH M. REMITZ, JR., wish to now amend the Declaration;
2. That Article VII of the Declaration provides that the Owners of seventy-five percent (75%) of the all the Units in CARDINAL CONDOMINIUM may amend the Declaration.
3. That WENDEROTH INVESTMENTS LLC, CHRISTOPHER W. DAHL, LESLIE J. DAHL, JOSEPH M. REMITZ, BETH J. REMITZ, and JOSEPH M. REMITZ, JR. are the current owners of One Hundred Percent (100%) of all the Units in CARDINAL CONDOMINIUM.

4. That Steven P. Kielley is the owner of real property described as follows:

Lots 49A and 50A of Valley West Subdivision - Phase 2 to the City of Bozeman, Gallatin County, Montana (Plat No. J-390), according to the official plat thereof on file and of record in the office of the County Clerk and Recorder of Gallatin County, Montana.

(hereinafter referred to as "Lots 49A and 50A").

5. That Jeremy Swenson and Kevin Lundstrom are the owners of real property described as follows:

Lot 50 of Valley West Subdivision - Phase 2 to the City of Bozeman, Gallatin County, Montana (Plat No. J-390), according to the official plat thereof on file and of record in the office of the County Clerk and Recorder of Gallatin County, Montana.

(hereinafter referred to as "Lot 50").

6. That Jeffery M. Olson is the owner of real property described as follows:

Lot 49 of Valley West Subdivision - Phase 2 to the City of Bozeman, Gallatin County, Montana (Plat No. J-390), according to

the official plat thereof on file and of record in the office of the County Clerk and Recorder of Gallatin County, Montana.

(hereinafter referred to as "Lot 49").

7. That Justin Wieser is the owner of real property described as follows:

Lot 43 of Valley West Subdivision - Phase 2 to the City of Bozeman, Gallatin County, Montana (Plat No. J-390), according to the official plat thereof on file and of record in the office of the County Clerk and Recorder of Gallatin County, Montana.

(hereinafter referred to as "Lot 43").

8. That if there is any inconsistency or conflict between the terms of this Second Amendment and the Declaration, the terms of this Second Amendment shall control.

NOW THEREFORE, the Declaration, pursuant to this Second Amendment, shall be modified and amended as follows:

1. The second paragraph of the Introduction to the Declaration shall be amended to read as follows:

The property subject to this Declaration shall be known as the CARDINAL CONDOMINIUM (hereinafter referred to as the "condominium"). The addresses of the condominium are Units A and B of 72, 94, 120, 146, 224, 246, 257, 262, and 288 Kimball Avenue, Bozeman, Montana 59718.

2. Article II. REAL ESTATE, paragraph 1. Description shall be amended to read as follows:

1. Description: The real property which is by this Declaration submitted and subject to the Montana Unit Ownership Act is described as follows:

Lots 43, 44, 44A, 46, 46A, 49, 49A, 50, and 50A of Valley West Subdivision - Phase 2 to the City of Bozeman, Gallatin County, Montana (Plat No. J-390), according to the official plat thereof on file and of record in the office of the County Clerk and Recorder of Gallatin County, Montana.

SUBJECT TO AND TOGETHER WITH existing easements, covenants, reservations, restrictions, conditions shown on the public records and the subdivision plat and subject to zoning ordinances and use restrictions. Also, subject to taxes, assessments and Special Improvement District assessments, if any.

TOGETHER WITH all tenements, hereditaments and appurtenances thereunto belonging or otherwise appertaining, including, but not limited to, easements for ingress and egress.

The condominium shall consist of eighteen (18) separate residential units in nine (9) buildings. The provisions of this Declaration and the Bylaws shall be construed to be covenants running with the land including every unit and shall be binding upon the units' owners, their heirs, personal representatives and assigns for as long as this Condominium Declaration and Bylaws are in effect.

3. Article II. REAL ESTATE, paragraph 4. Buildings, shall be amended to read as follows:

4. Buildings: The units comprising the condominium are contained in nine (9) buildings.



4. Article IV., OWNERSHIP AND VOTING – EXHIBITS – USE, Paragraph 1. Percentage of Interest, shall be amended to read as follows:

1. Percentage of Interest: Each unit owner shall be entitled to the exclusive ownership, use and possession of his unit. Additionally, each Unit Owner shall have an equal percentage of undivided interest in the general common elements of CARDINAL CONDOMINIUM. Such percentage represents his ownership interest in the general common elements, his liability for common expenses and the voting interest of the Unit Owner or Owners in all matters concerning the Association of Unit Owners. The percentage of interest in the general common elements for the Unit Owners shall be computed by taking the value of each Unit at the date of filing this Declaration and dividing it by the then combined value of all of the units having an interest in the general common elements of the condominium. Such percentage of interest and value for each of the units in the condominium shall be according to the percentages set forth below:

<u>Unit No.</u>	<u>Square Footage</u>	<u>Percentage of Interest In General Common Elements</u>
1	approx. 2,475	5 5/9
2	approx. 2,475	5 5/9
3	approx. 2,475	5 5/9
4	approx. 2,475	5 5/9
5	approx. 2,475	5 5/9
6	approx. 2,475	5 5/9
7	approx. 2,475	5 5/9
8	approx. 2,475	5 5/9
9	approx. 2,475	5 5/9
10	approx. 2,475	5 5/9
11	approx. 2,475	5 5/9
12	approx. 2,475	5 5/9
13	approx. 2,475	5 5/9
14	approx. 2,475	5 5/9
15	approx. 2,475	5 5/9
16	approx. 2,475	5 5/9
17	approx. 2,475	5 5/9
18	approx. 2,475	5 5/9
Total	19,800	100%

5. Article IV., OWNERSHIP AND VOTING – EXHIBITS – USE, paragraph 2. Floor Plans and Exhibits, shall be amended to read as follows:

Floor Plans and Exhibits: CARDINAL CONDOMINIUM consists of the real property as described above, and a total of eighteen (18) residential dwelling units as shown on the floor plans. For identification and descriptive purposes, the following Exhibits are attached and by reference hereto incorporated into and made a part of this Declaration:

Exhibit A: Showing the floor plans of Units 1-4 of the CARDINAL CONDOMINIUM, the area of each, the dimensions and the designation for each Unit.

Exhibit B: Showing the site plan for Units 1-4 of CARDINAL CONDOMINIUM and the location of the building containing condominium units on the property.

Exhibit C: Showing the floor plans of Units 5-8 of the CARDINAL CONDOMINIUM, the area of each, the dimensions and the designation



for each Unit.

Exhibit D: Showing the site plan for Units 5-8 of CARDINAL CONDOMINIUM and the location of the building containing condominium units on the property.

Exhibit E: Showing the floor plans of Units 9-18 of the CARDINAL CONDOMINIUM, the area of each, the dimensions and the designation for each Unit.

Exhibit F: Showing the site plan for Units 9-18 of CARDINAL CONDOMINIUM and the location of the building containing condominium units on the property.

- 6. Exhibits E and F attached hereto are by this reference incorporated herein as Exhibits hereto and to the Declaration.
- 7. Certificate of Floor Plan attached to the Declaration is hereby replaced by the Certificate of Floor Plan attached hereto as Exhibit G.
- 8. The undersigned hereby submit and subject their properties, Lots 43, 49, 49A, 50, and 50A referenced above, to the Montana Unit Ownership Act pursuant to M.C.A. 70-23-101, et. seq. and the Declaration for Cardinal Condominium.

DATED this 18 day of July, 2005.

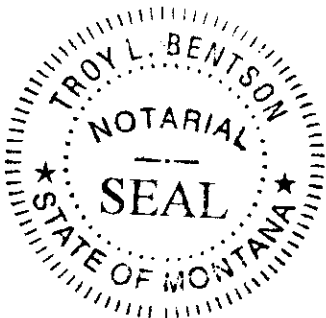
WENDEROTH INVESTMENTS LLC

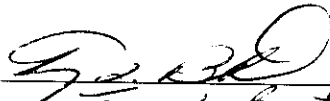

 By: KEITH WENDEROTH – MEMBER

STATE OF MONTANA)
 : ss.
 County of Gallatin)

On this 18 day of July, 2005, before me, a Notary Public in and for the State of Montana, personally appeared Keith Wenderoth, known to me to be the Member of Wenderoth Investments, LLC, whose name is subscribed to the within instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



 (sign)
 Troy L. Bentson (print)
 Notary Public for the State of Montana
 Residing at: Bozeman, Montana
 My commission expires: June 4, 2007

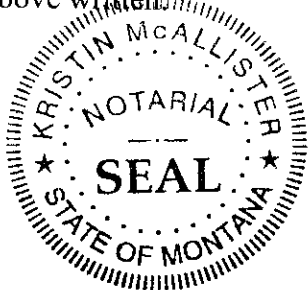

 CHRISTOPHER W. DAHL


 LESLIE J. DAHL

STATE OF MONTANA)
 : ss.
 County of Gallatin)

On this 19th day of July, 2005, before me, a Notary Public in and for the State of Montana, personally appeared CHRISTOPHER W. DAHL and LESLIE J. DAHL, known to me to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



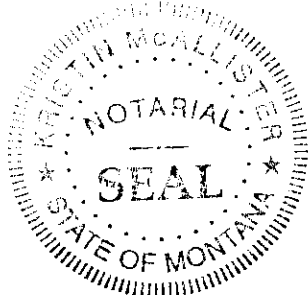
Kristin McAllister (sign)
Kristin McAllister (print)
Notary Public for the State of Montana
Residing at: Bozeman, Montana
My commission expires: 11-19-2007

[Signature]
KEVIN LUNDSTROM

STATE OF MONTANA)
County of Gallatin) : ss.

On this 19th day of July, 2005, before me, a Notary Public in and for the State of Montana, personally appeared KEVIN LUNDSTROM, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



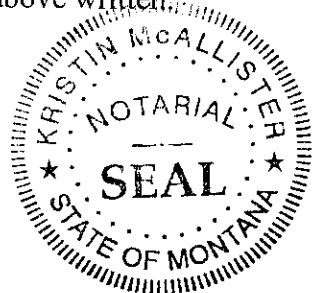
Kristin McAllister (sign)
Kristin McAllister (print)
Notary Public for the State of Montana
Residing at: Bozeman, MT
My commission expires: 11-19-2007

[Signature]
JEREMY SWENSON

STATE OF MONTANA)
County of Gallatin) : ss.

On this 19th day of July, 2005, before me, a Notary Public in and for the State of Montana, personally appeared JEREMY SWENSON, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



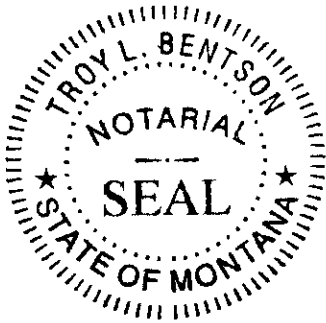
Kristin McAllister (sign)
Kristin McAllister (print)
Notary Public for the State of Montana
Residing at: Bozeman, Montana
My commission expires: 11-19-2007

Justin Wieser
JUSTIN WIESER

STATE OF MONTANA)
: ss.
County of GALLATIN)

On this 19 day of July, 2005, before me, a Notary Public in and for the State of Montana, personally appeared JUSTIN WIESER, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



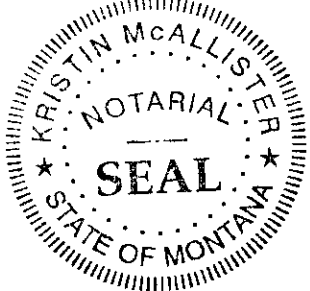
Troy L. Bentson (sign)
Troy L. Bentson (print)
Notary Public for the State of Montana
Residing at: Bozeman, Montana
My commission expires: June 4, 2007

Joseph M. Remitz, Jr.
JOSEPH M. REMITZ, JR.

STATE OF MONTANA)
: ss.
County of GALLATIN)

On this 19th day of July, 2005, before me, a Notary Public in and for the State of Montana, personally appeared JOSEPH M. REMITZ, JR., known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.

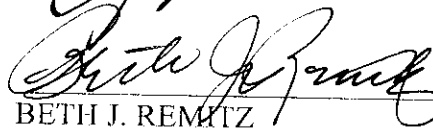


Kristin McAllister (sign)
Kristin McAllister (print)
Notary Public for the State of Montana
Residing at: Bozeman, Montana
My commission expires: 11-19-2007





JOSEPH M. REMITZ

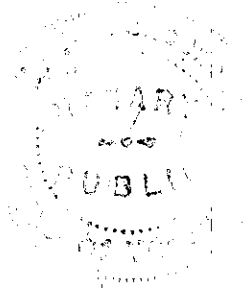


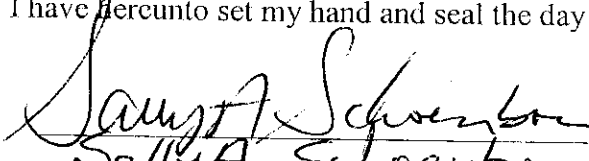
BETH J. REMITZ

STATE OF WISCONSIN)
) : ss.
County of Waukesha)

On this 20th day of July, 2005, before me, a Notary Public in and for the State of Wisconsin, personally appeared JOSEPH M. REMITZ and BETH J. REMITZ, known to me to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



 (sign)
Sally A. Schoenborn (print)

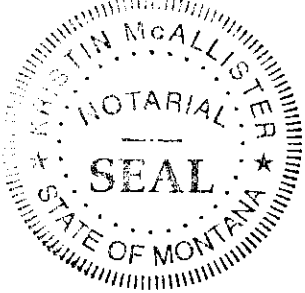
Notary Public for the State of Wisconsin
Residing at: 122 Dewey Ave Watertown, WI
My commission expires: 3-15-2009 53094

St P Kielley
STEVEN P. KIELLEY
St Kielley
STEVE KIELLEY

STATE OF Montana)
~~COLORADO~~)
: ss.
County of Gallatin)

On this 20th day of July, 2005, before me, a Notary Public in and for the State of Montana, personally appeared STEVEN P. KIELLEY and STEVE KIELLEY, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



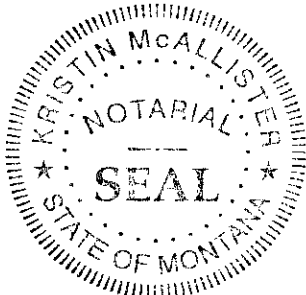
Kristin McAllister (sign)
Kristin McAllister (print)
Notary Public for the State of Montana
Residing at: Bozeman, MT
My commission expires: 11-19-2007

[Signature]
JEFFERY M. OLSON

STATE OF Montana)
~~COLORADO~~)
: ss.
County of Gallatin)

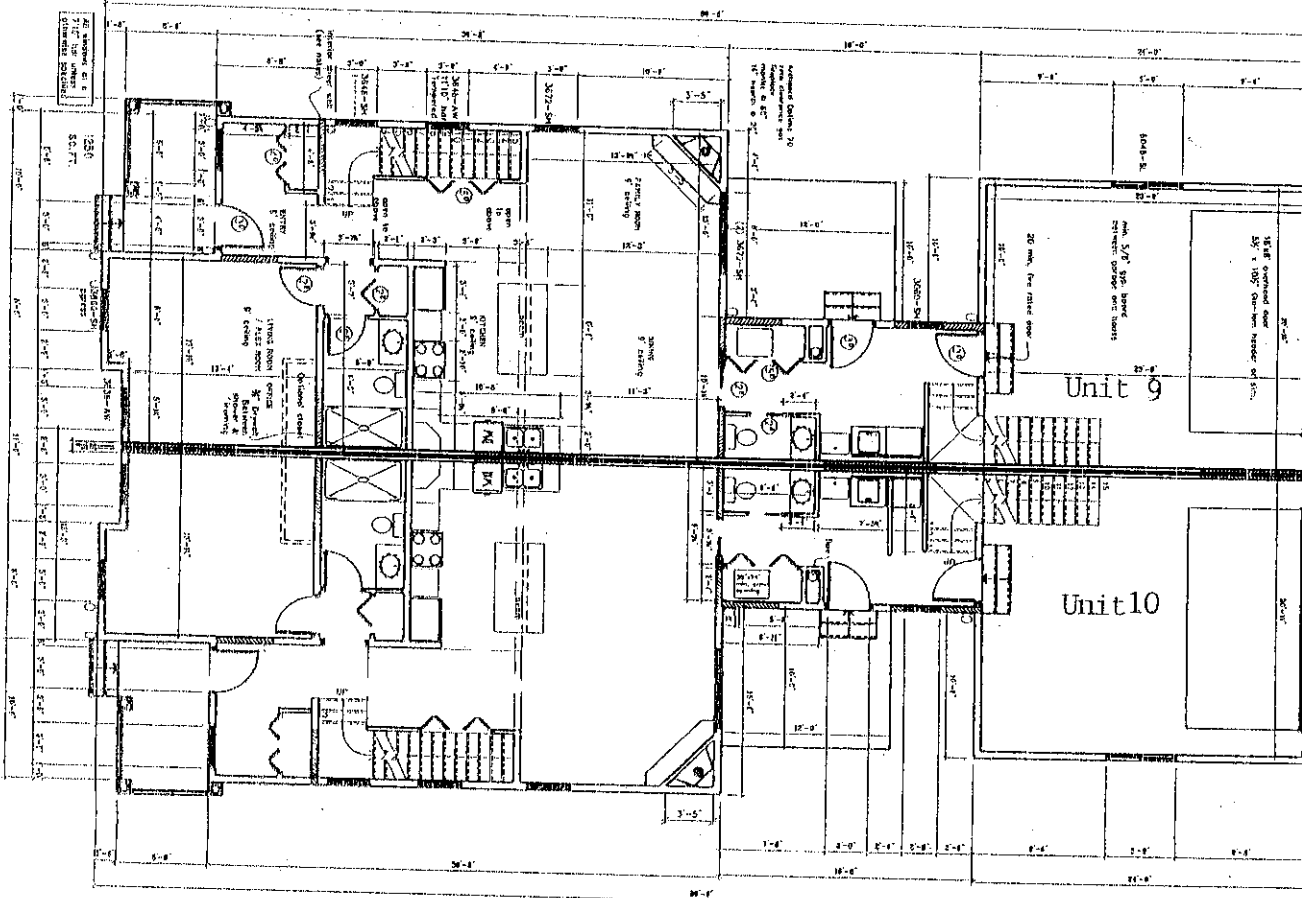
On this 20th day of July, 2005, before me, a Notary Public in and for the State of Montana, personally appeared JEFFERY M. OLSON, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



Kristin McAllister (sign)
Kristin McAllister (print)
Notary Public for the State of Montana
Residing at: Bozeman, MT
My commission expires: 11-19-2007

FIRST FLOOR EACH SIDE = 11170 SQ. FT.



TEMPERED GLASS (Safety Glazing)
 IRC 2008.4) needed in the following instances:
 - In swinging, hinged, sliding, or fixed glass doors.
 - Enclosures for Showers, Hot Tubs, Whirlpools, Saunas, Steam Rooms, Bathtubs and Showers; transfer windows in interior or exterior walls.
 - Any glass in railings.
 - Windows within 24" of a door and within 50" of the face.

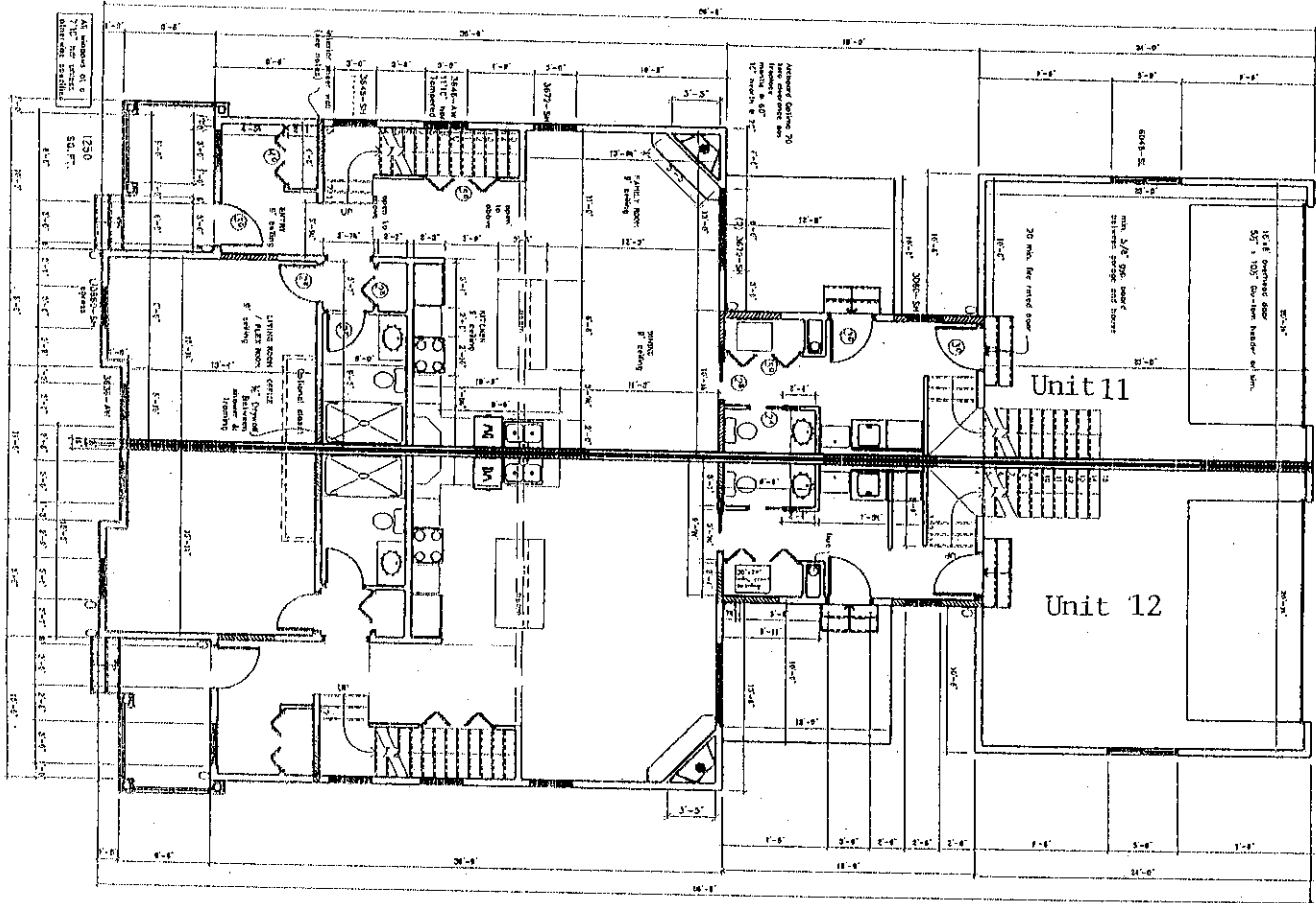
OR 20' of the following:
 - Windows with an individual pane size greater than 9 sq. ft.
 - Glass within 18" of the top.
 (UBC 2403.7.2)
 - Exposed top edge greater than 36" above the floor.
 - One or more walking surfaces with a 36" horizontal clearance.
 - Contractor and window manufacturer are equally responsible for window meeting or 2008, including glass.

*** FRAMER'S NOTES**
 In general:
 - One fastener shall be attached to the top plate w/ Simpson hurricane straps that are equal to or exceed uplift calls per truss manufacturer's engineered drawings - to be specified by others (see truss plans).
 - bearing walls down as 5'-0"
 - plumbing walls down as 3'-0"
 - curtain walls down as 3'-0"
 - solid bearing required for all girder trusses and beams.
 * R is the express responsibility of the general contractor and individual trades to protect, three pins one only a phone ins. Call IMFACT Drafting & Design immediately if there are any questions.

IMPACT RESISTANT METHODS:
 #3 - WOOD STRUCTURAL PANEL SHEATHING (6'-0" MIN. THICKNESS ON STUDS 16" O.C., MIN. 3/4" FOR 24" O.C.) INSTALLED TO THE PANEL FACE(S).
 #4 - 1/2" STRUCTURAL FIBERGLASS SHEATHING APPLIED VERTICALLY STUDS 16" O.C. INSTALLED TO THE PANEL FACE(S).
 #5 - MIN. 3/4" GYP. BOARD ON STUDS (MAX. 24" O.C.) FASTENED 7" O.C. WITH WALLS ACCORDING TO IRC TABLE R602.1(1) OR SCREWS (RECOMMENDED).
 #7 - PORTLAND CEMENT PLASTER ON STUDS (MAX. 16" O.C.) ACCORDING TO SECTION R602.1.6.
 INTERIOR BRACED WALL SUPPORT (IRC R602.1(6)) - STRUCTURAL DESIGN CATEGORY D2
 - BRACING BETWEEN WALL LINES IN EACH STORY SHALL NOT EXCEED 20' O.C. IN BOTH DIRECTIONS.
 - INTERIOR WALL LINES MUST BE ON CONTINUOUS FOUNDATIONS THAT INCLUDE CONTINUOUS FOOTINGS WITH CORNER WALLS) EVERY 30'.
 - TWO STORY STRUCTURES MUST HAVE ALL INTERIOR BRACED SUPPORTS ON CONTINUOUS FOUNDATION WALLS.
 - HEIGHT OF CHIMNEY WALL DOES NOT EXCEED 4' FLOOR FINISH MEASURE BETWEEN BRACING LINES DOES NOT EXCEED THREE TIMES THE PARALLEL BRACING SPACING.
EXCEPTION (INTERIOR):
 - BRACING MAY GO UP TO 35' O.C. TO ACCOMMODATE ONE ROOM UP TO 900 SQ. FT.
EXCEPTION (EXTERIOR):
 - MIN. 2x4 WOOD PANEL IS APPLIED TO EACH SIDE OF THE BRACING CORNER.
 - THE END OF EACH BRACED WALL PANEL CLOSEST TO THE CORNER SHALL HAVE A TIE DOWN FASTENED TO THE STUD AND THE FOUNDATION (OR FRAMING) BELOW WITH AN UPLIFT VALUE OF 1800 LBS. (SFD-10)
 * NOTE: SEVERAL EXTERIOR WALLS ARE TO BE BRACED WITH 3/4" OSB OR 3/8" PLYWOOD. ALL EXTERIOR WALLS DRAIN BRACED WALL LINES' (SEE INC. R502.10.1)
LEGEND:
 0 * SHD-10 = INTERIOR BRACED WALL

	Project No. 604-0608-1	GENERAL CONTRACTOR: Keith Bourgeois 392 Annie Glade Bozeman, MT 59718 phone # 581-9573 fax #	
	Scale: 3/16" = 1'	Valley West Venture #1 Kimball Ave. Bozeman MT	

FIRST FLOOR EACH SIDE = 1170 SQ. FT.



TEMPERED GLASS (Safety Glazing)
IPC 308.4) needed in the following instances:
- In existing glazed sliding or double doors
- Enclosures for Showers, Hot Tubs, Whirlpools, Saunas Steam Rooms, Bathtubs and Showers
- Windows in interior or exterior walls in areas where (308.4.5)
- Any glass in ratings
- Windows within 2'-0" of a door and within 50" of the floor

WINDOW NOTES
Of All of the following:
- Windows with an individual pane size greater than 5 sq. ft.
- Glass within 18" of the floor (IBC 2406.7.2)
- Exposed top edge greater than 36" above the floor
- One or more vertical surfaces with a 36" reinforcement
- Contractor and window manufacturer are expressly responsible for windows meeting all codes, including stress.

*** FRANK'S NOTES:**
In general:
- one exterior sheathing w/ outside of foundation wall
- exterior walls down on 6"
- decking walls down on 5"
- plumbing walls down on 5"
- curtain walls down on 3"
- solid bearing required for all girder trusses and beams

Le the top plate w/ Simpson hurricane straps tied out equal to or exceed uplift code's per manufacturer's engineered drawings - to be specified by others (see truss plans)
It is the express responsibility of the contractor to verify and provide a site plan showing where and how to create the notes. These plans are only a guide line. Call IMPACT Drafting & Design immediately if there are any questions.

IMPACT SUGGESTED METHODS:
#1 - used structural panel sheathing (2" min. thickness for 20' O.C., 1 1/2" min. for 24' O.C.) installed to meet table 602.2(10)
#2 - 2" structural fiberglass sheathing applied vertically, studs 16" O.C. installed to meet table 602.2(10)
#3 - 1/2" GYP. BOARD ON STUDS (MAX. 24" O.C.) FASTENED TO O.C. WITH NAILS ACCORDING TO TABLE 602.2(10) ON SHEATH (RECOMMENDED)
#4 - PORTLAND CEMENT PLASTER ON STUDS (MAX. 16" O.C.) ACCORDING TO SECTION 9103.8

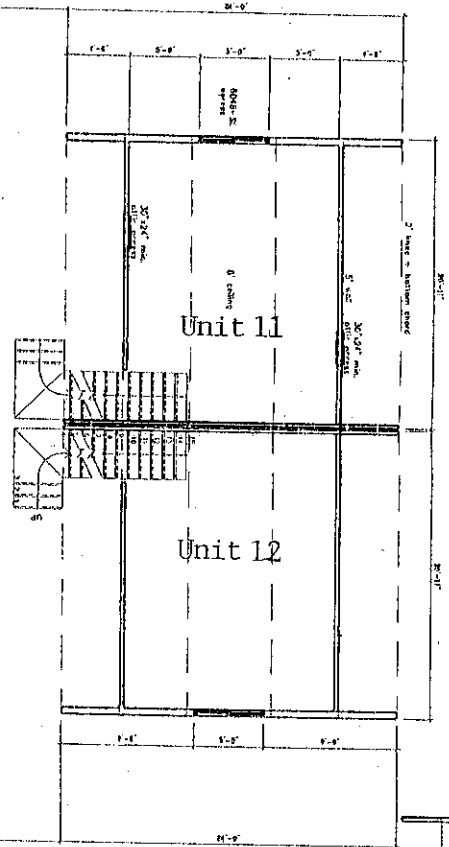
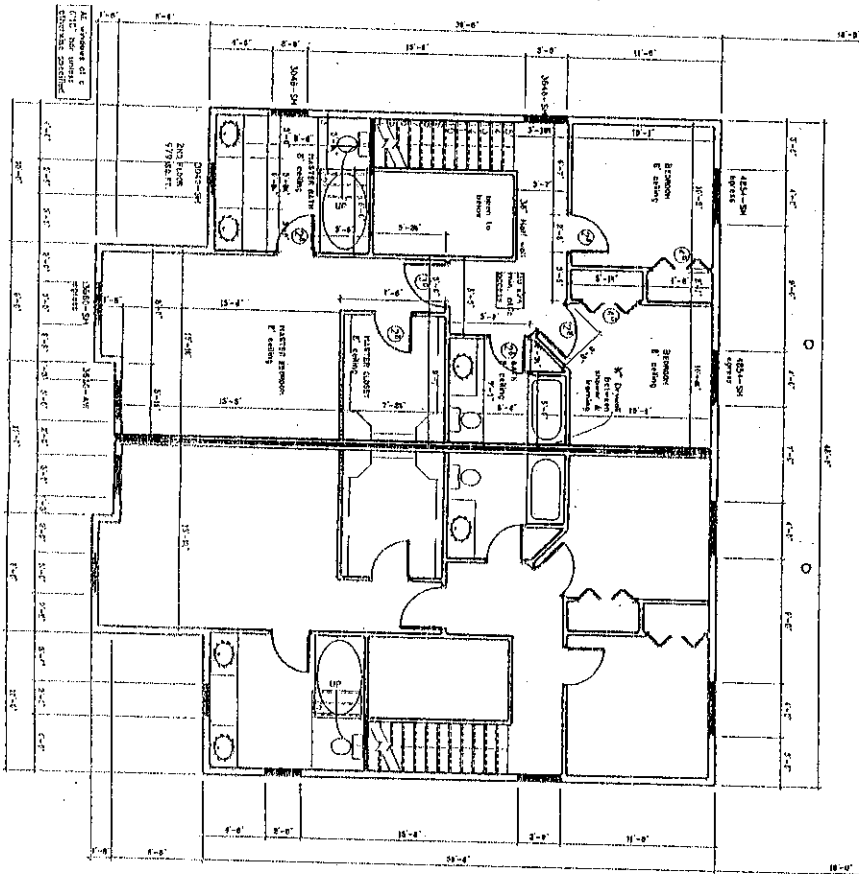
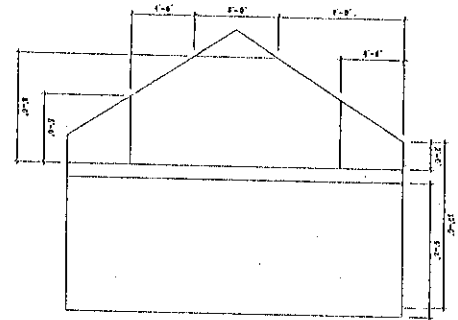
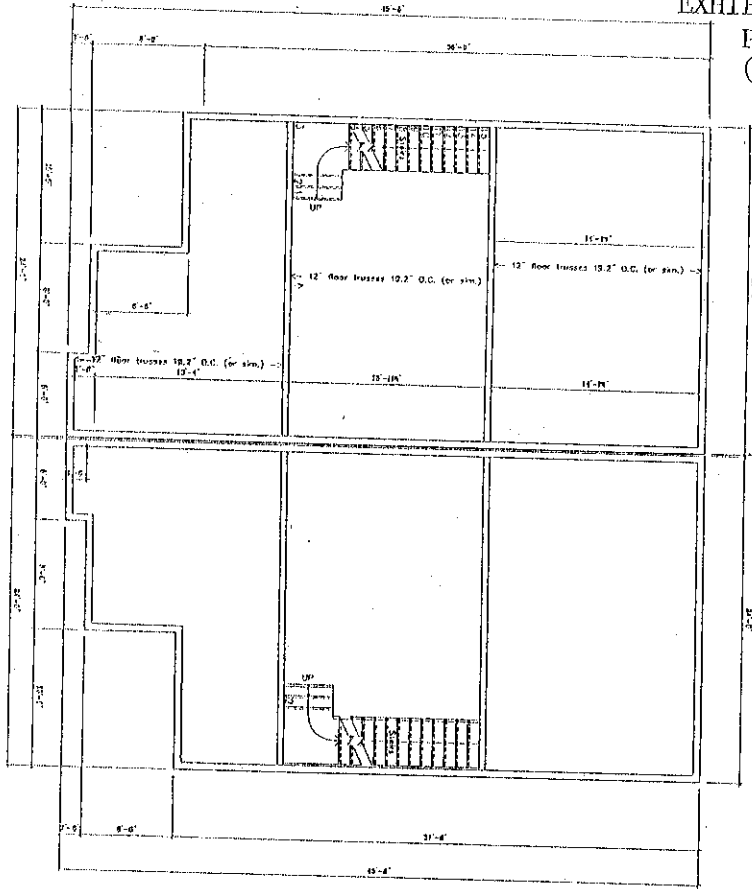
INTERIOR BRACED WALL SUPPORT (IRC R602.10.9) - SEISMIC DESIGN CATEGORY D2
- SPACING BETWEEN WALL LINES IN EACH STORY SHALL NOT EXCEED 25' O.C. IN BOTH DIRECTIONS
- INTERIOR WALL LINES MUST BE ON CONTIGUOUS FOUNDATIONS (WALLS) OR CONCRETE FOUNDATIONS WITH CRIPPLE WALLS EVERY 50'
- TWO STORY STRUCTURES MUST HAVE ALL INTERIOR BRACED SUPPORTS ON CONTIGUOUS FOUNDATIONS
- HEIGHT OF CRIPPLE WALL DOES NOT EXCEED 4' FLOOR JOIST FIRST FLOOR BRACED WALLS ARE ON DOUBLE
- DISTANCE BETWEEN BRACED LINES DOES NOT EXCEED TWICE THE PARALLEL BRACING WIDTH

EXCEPTION (INTERIOR):
- SPACING MAY GO UP TO 35' O.C. TO ACCOMMODATE ONE ROOM UP TO 250 SQ. FT.
EXCEPTION (EXTERIOR):
- MAX. 36" WIDE PANEL IS APPLIED TO EACH SIDE OF THE BUILDING CORNER


OR
- THE END OF EACH BRACED WALL PANEL, CLOSEST TO THE CORNER SHALL HAVE A TIE DOWN FASTENED TO THE STUD AND THE FOUNDATION (OR FRAMING BELOW WITH AN UPRIGHT WALL OF FIBER (i.e. STUD-10)
* NOTE: BECAUSE EXTERIOR WALLS ARE TO BE SHEATHED WITH 3/4" OSB OR 5/8" PLYWOOD, ALL EXTERIOR WALLS CREATE BRACED WALL LINES (SEE IRC R602.10.1)

LEGEND:
* STUD-10 zzzzzzzzz * INTERIOR BRACED WALL

	Project No. B04-0608-1	GENERAL CONTRACTOR: Keith Boumgard 392 Annie Glods Bozeman, MT 59718 phone # 581-9573 mobile # 951-1133	
	Scale: 3/16" = 1'	Valley West Venture #1 Kimball Ave. Bozeman MT	



SCALE = 1/8" = 1'

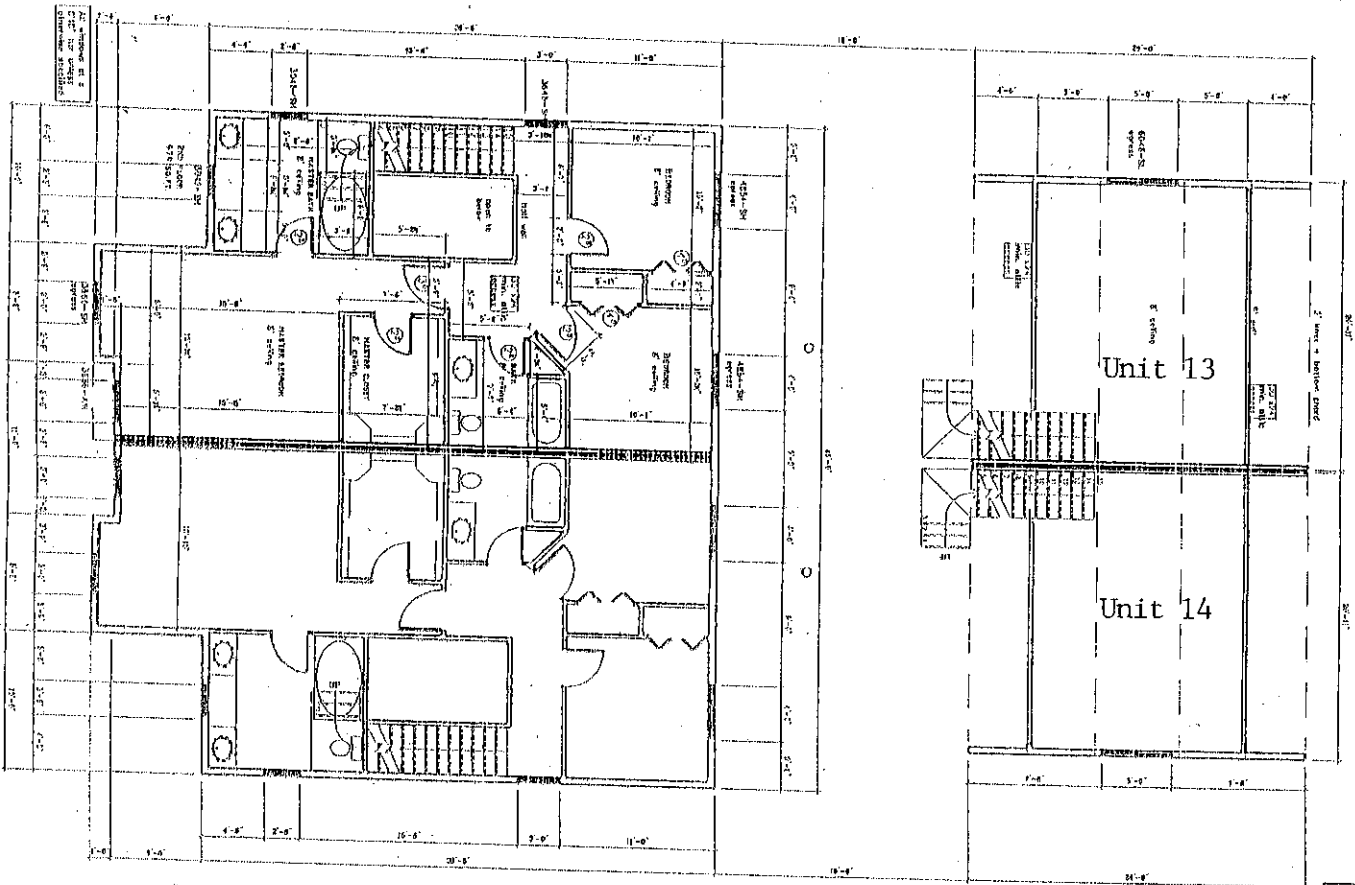
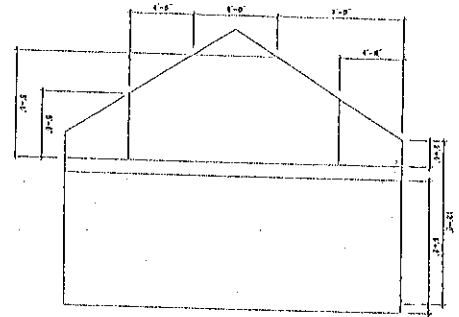
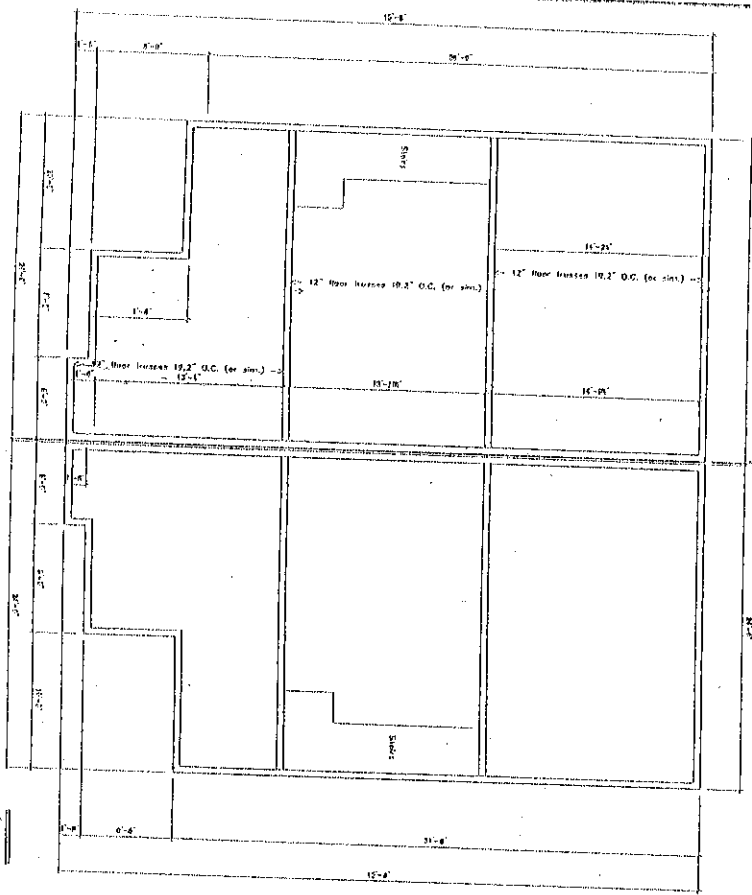

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 2135 S. Bozeman
 Bozeman, MT 59718
 Phone: 406-591-0573
 Fax: 406-591-0573
 www.impactdrafting.com

Valley West Venture #1
 Kimball Ave.
 Bozeman MT

Project No.
 B04-0608-1
 Scale:
 3/16" = 1'

GENERAL CONTRACTOR:
 Keith Baumgard
 392 Annie Glade
 Bozeman, MT 59718
 phone #: 591-0573 fax #:

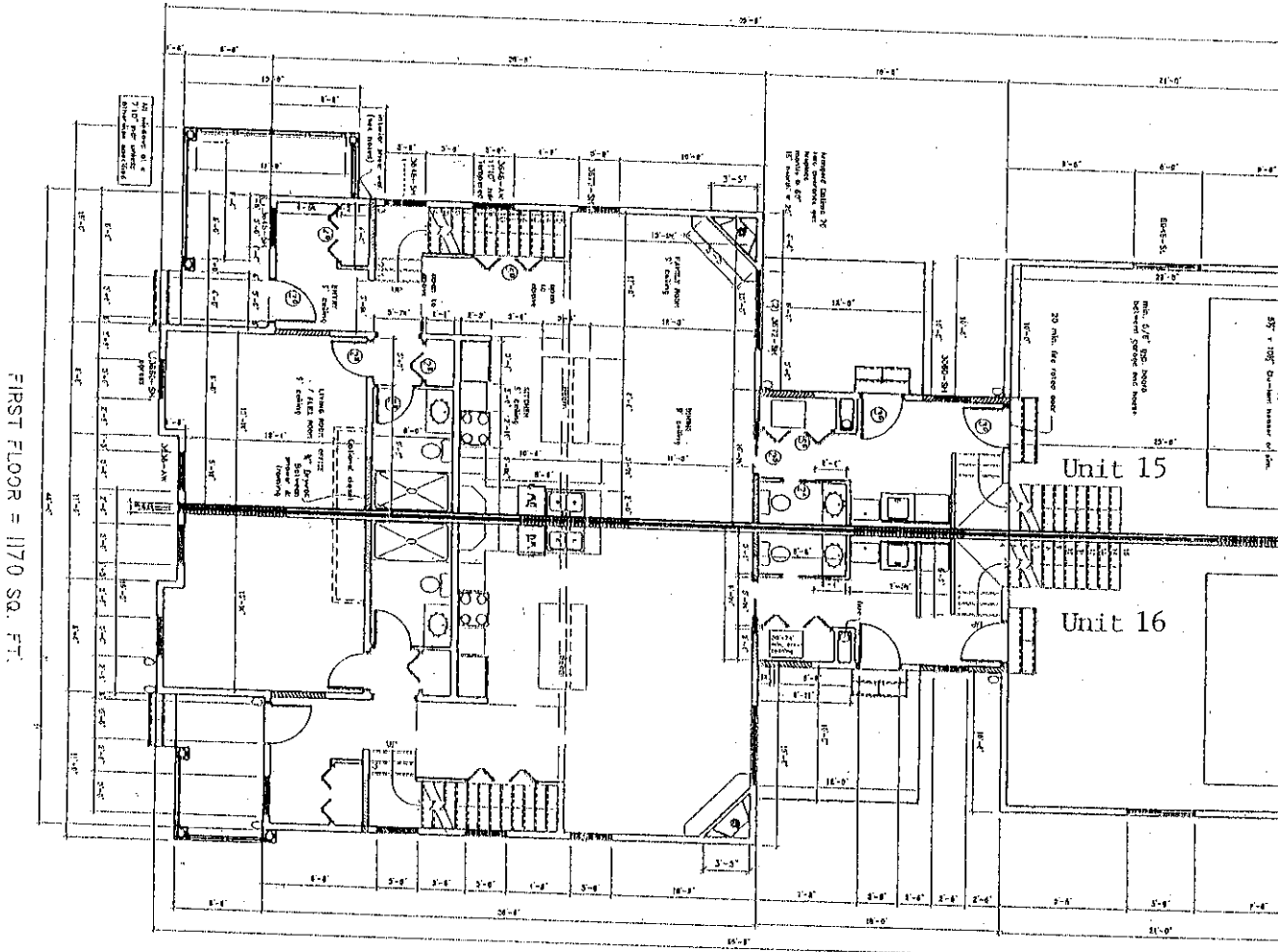

IMPACT
 DRAFTING
 Stoneridge
 2135 S.
 Bozeman
 MT 59718
 www.impactdrafting.com



SCALE = 1/8" = 1'

	© 2004 IMPACT Drafting & Design, Inc. 301 N. 1st Street Bozeman, MT 59717 Phone: (406) 552-1111 Fax: (406) 552-1112 www.impactdrafting.com	Valley West Venture #1 Kimball Ave. Bozeman MT		Project No. B04-0608-1	GENERAL CONTRACTOR: Keith Baumgard 382 Annie Glade Bozeman, MT 59716 phone #: 581-9573 fax #: 581-9574	
		Scale: 3/16" = 1'	www.impactdrafting.com		2135 Bozeman, MT	

EXHIBIT E
Page 7 of 10
Floor Plan Units 15 and 16



FIRST FLOOR = 1170 SQ. FT.

TEMPERED GLASS (Safety Glazing)
IRC 206(4) needed in the following instances:
- In sliding, fixed, sliding, or fixed doors
- Enclosures for Showers, Hot Tubs, Whirlpools, Saunas, Steam Rooms, Bathtubs and Showers
- Windows within 2' of a door or within 50" of the floor
- Any glass in railings
- Windows within 2' of a door or within 50" of the floor

FRAMER'S NOTES
In general:
- lint, exterior sheathing w/ rafter/ceiling stops that are equal to or exceed uplift, code's per truss manufacturer's engineered drawings (truss plans)
- exterior walls down as 5"
- ceiling walls down as 5"
- plumbing walls down as 5"
- curtain walls down as 5"
- solid blocking required for all other trusses and beams
- girders trusses to be attached to the top plate w/ Simpson rafter/ceiling stops that are equal to or exceed uplift, code's per truss manufacturer's engineered drawings (truss plans)
- It is the erector's responsibility of this building to provide and install all sub-panels, sheathing, and insulation to create the home. These items are only a guide line. Call IMFAST Dredging & Design immediately if there are any questions.

FRAMER'S NOTES
- girders trusses to be attached to the top plate w/ Simpson rafter/ceiling stops that are equal to or exceed uplift, code's per truss manufacturer's engineered drawings (truss plans)
- It is the erector's responsibility of this building to provide and install all sub-panels, sheathing, and insulation to create the home. These items are only a guide line. Call IMFAST Dredging & Design immediately if there are any questions.

BRICKED WALL PANEL CONSTRUCTION (IRC REG.10.3)
IMPACT SUGGESTED METHODS:
E1 - WOOD BRACING: BUILT STRAPPING 6x6 MIN. THICKNESS FOR STUDS 16" O.C. MAX. 7' TO 24' O.C. INSTALLED TO THE TABLE (REG.2.3)
E2 - 1" STRUCTURAL FIBERGLASS SHEATHING APPLIED VERTICALLY STUDS 16" O.C. INSTALLED TO THE TABLE (REG.2.11)
E3 - 1/2" CIP. BOARD ON STUDS (MAX. 24" O.C.) FASTENED TO STUDS WITH NAILS ACCORDING TO THE TABLE (REG.2.11) OR STUDS (REG.2.11)
E4 - PORTLAND CEMENT PLASTER ON STUDS (MAX. 16" O.C.) ACCORDING TO SECTION R703.6
INTERIOR BRICKED WALL SUPPORT (IRC REG.10.5) - SEISMIC DESIGN CATEGORY 02
- SPACING BETWEEN WALL LINES IN EACH STORY SHALL NOT EXCEED 25' O.C. IN BOTH DIRECTIONS
- INTERIOR WALL LINES MUST BE ON CONTIGUOUS FOUNDATIONS (MAY INCLUDE CONDUITS) (SEE WITH CRIPPLE WALLS) EVERY 5'
- TWO STORY STRUCTURES MUST HAVE ALL INTERIOR BRICKED SURFACES ON CONTIGUOUS FOUNDATION WALLS UNLESS:
- HEIGHT OF CRIPPLE WALL DOES NOT EXCEED 4' FIRST FLOOR BRICKED WALLS ARE ON DOUBLE FLOOR JOISTS
- DISTANCE BETWEEN BRACKING LINES DOES NOT EXCEED TWICE THE PARALLEL BRACKING WIDTH
EXCEPTION (INTERIOR):
- BRACKING MAY GO UP TO 15' O.C. TO ACCOMMODATE ONE ROW UP TO 500 S.F.M.
EXCEPTION (EXTERIOR):
- MAX. 24" WIDE PANEL IS APPLIED TO EACH SET OF THE BUILDING CORNER
OR
- THE END OF EACH BRACKED WALL PANEL, CLOSEST TO THE CORNER SHALL HAVE A NAIL DOWN FASTENED TO THE STUD AND THE FOUNDATION (OR BRACKING) BELOW WITH AN UPLIFT VALUE OF 11800 (LA. SMO-10)
* NOTE: BECAUSE EXTERIOR WALLS ARE TO BE SHEATHED WITH 5/8" OSB OR 5" FIBERGLASS ALL EXTERIOR WALLS MUST BE BRACKED WALL LINES (SEE IRC REG.10.3)
LEGEND:
0 = STUD-10
===== = INTERIOR BRACKED WALL

BRICKED WALL PANEL CONSTRUCTION (IRC REG.10.3)
IMPACT SUGGESTED METHODS:
E1 - WOOD BRACING: BUILT STRAPPING 6x6 MIN. THICKNESS FOR STUDS 16" O.C. MAX. 7' TO 24' O.C. INSTALLED TO THE TABLE (REG.2.3)
E2 - 1" STRUCTURAL FIBERGLASS SHEATHING APPLIED VERTICALLY STUDS 16" O.C. INSTALLED TO THE TABLE (REG.2.11)
E3 - 1/2" CIP. BOARD ON STUDS (MAX. 24" O.C.) FASTENED TO STUDS WITH NAILS ACCORDING TO THE TABLE (REG.2.11) OR STUDS (REG.2.11)
E4 - PORTLAND CEMENT PLASTER ON STUDS (MAX. 16" O.C.) ACCORDING TO SECTION R703.6
INTERIOR BRICKED WALL SUPPORT (IRC REG.10.5) - SEISMIC DESIGN CATEGORY 02
- SPACING BETWEEN WALL LINES IN EACH STORY SHALL NOT EXCEED 25' O.C. IN BOTH DIRECTIONS
- INTERIOR WALL LINES MUST BE ON CONTIGUOUS FOUNDATIONS (MAY INCLUDE CONDUITS) (SEE WITH CRIPPLE WALLS) EVERY 5'
- TWO STORY STRUCTURES MUST HAVE ALL INTERIOR BRICKED SURFACES ON CONTIGUOUS FOUNDATION WALLS UNLESS:
- HEIGHT OF CRIPPLE WALL DOES NOT EXCEED 4' FIRST FLOOR BRICKED WALLS ARE ON DOUBLE FLOOR JOISTS
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LEGEND:
0 = STUD-10
===== = INTERIOR BRACKED WALL

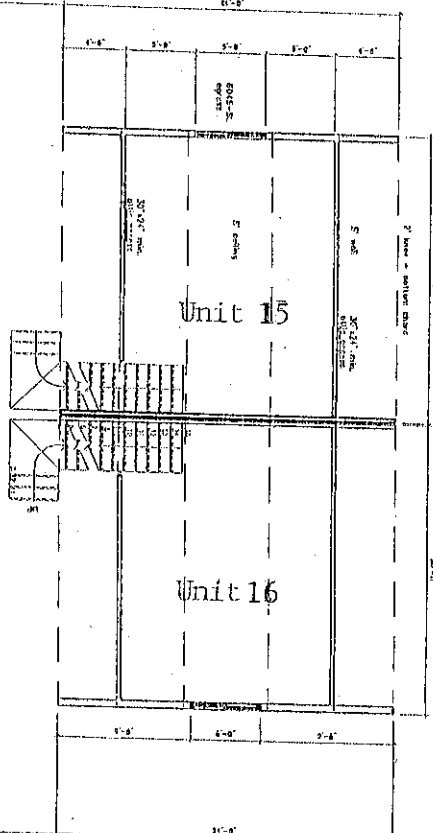
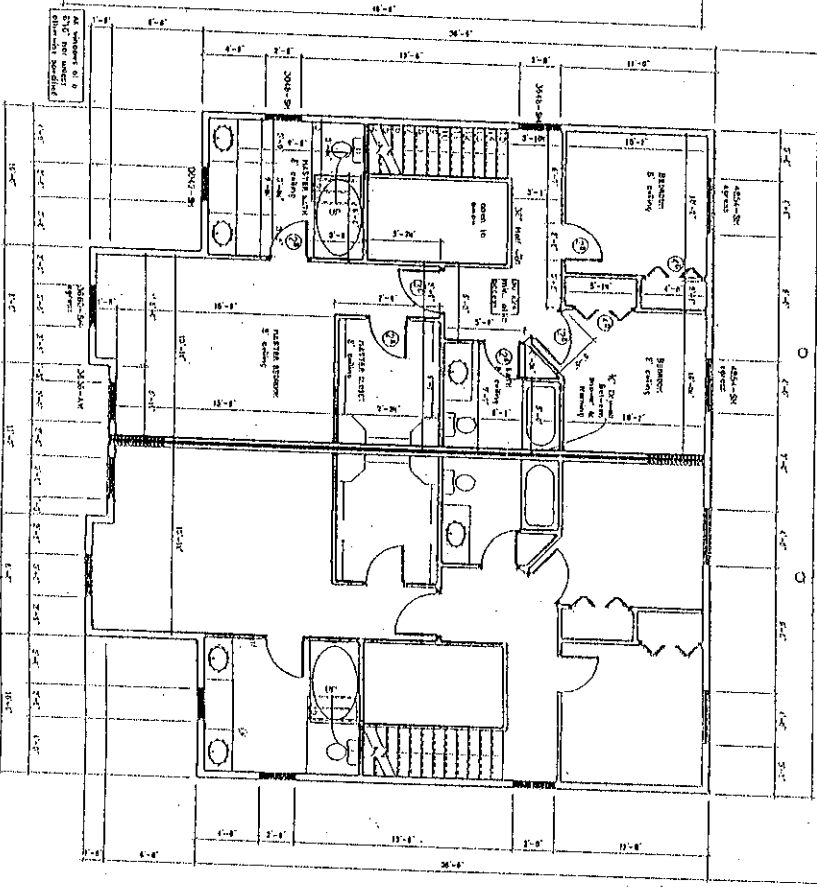
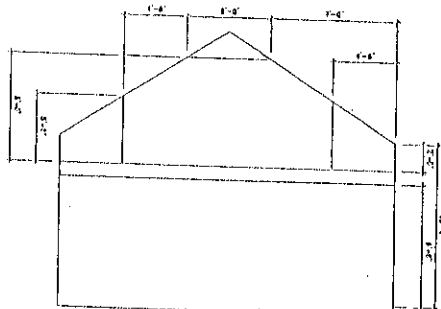
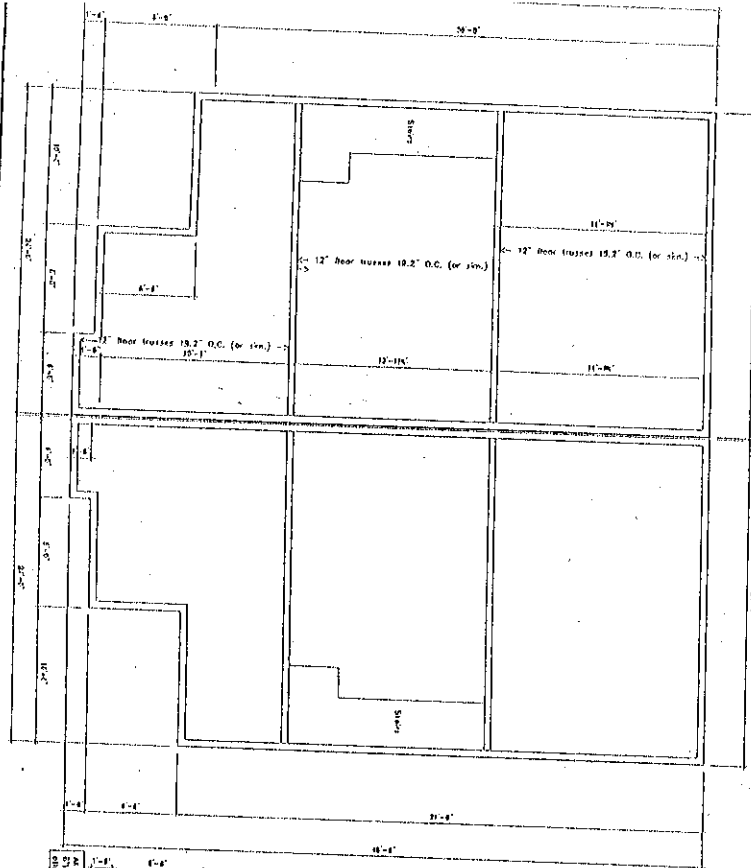
WINDOW NOTES
per all of the following:
- Windows with an individual pane size greater than 8 sq. ft.
- Glass within 18" of the floor
(IRC 2406.7.2)
- Exposed top edge greater than 18" above the floor
- One or more working surfaces with in 36" horizontally
- Contractor and window manufacturer are expressly responsible for windows meeting all codes, including energy.

Valley West Venture #1
Lot 50A Kimball Ave.
Bozeman MT

Project No.
B04-1109-2
Scale:
3/16" = 1'

GENERAL CONTRACTOR:
Keith Baumgard
392 Annie Glade
Bozeman, MT 59718
phone: 406-593-1150 fax: 406-593-1151
www.impactdredging.com

IMPACT DRAFTING & DESIGN
2136 Cherokee
Bozeman, MT 59718
406-593-1151
www.impactdredging.com



SCALE = 1/8" = 1'

Second floor

DATE	10/10/2004
DRAWN BY	BOB
CHECKED BY	BOB
PROJECT NO.	004-1109-2
SCALE	3/16" = 1'

Valley West Venture #1
 Lot 50A Kimball Ave.
 Bozeman MT

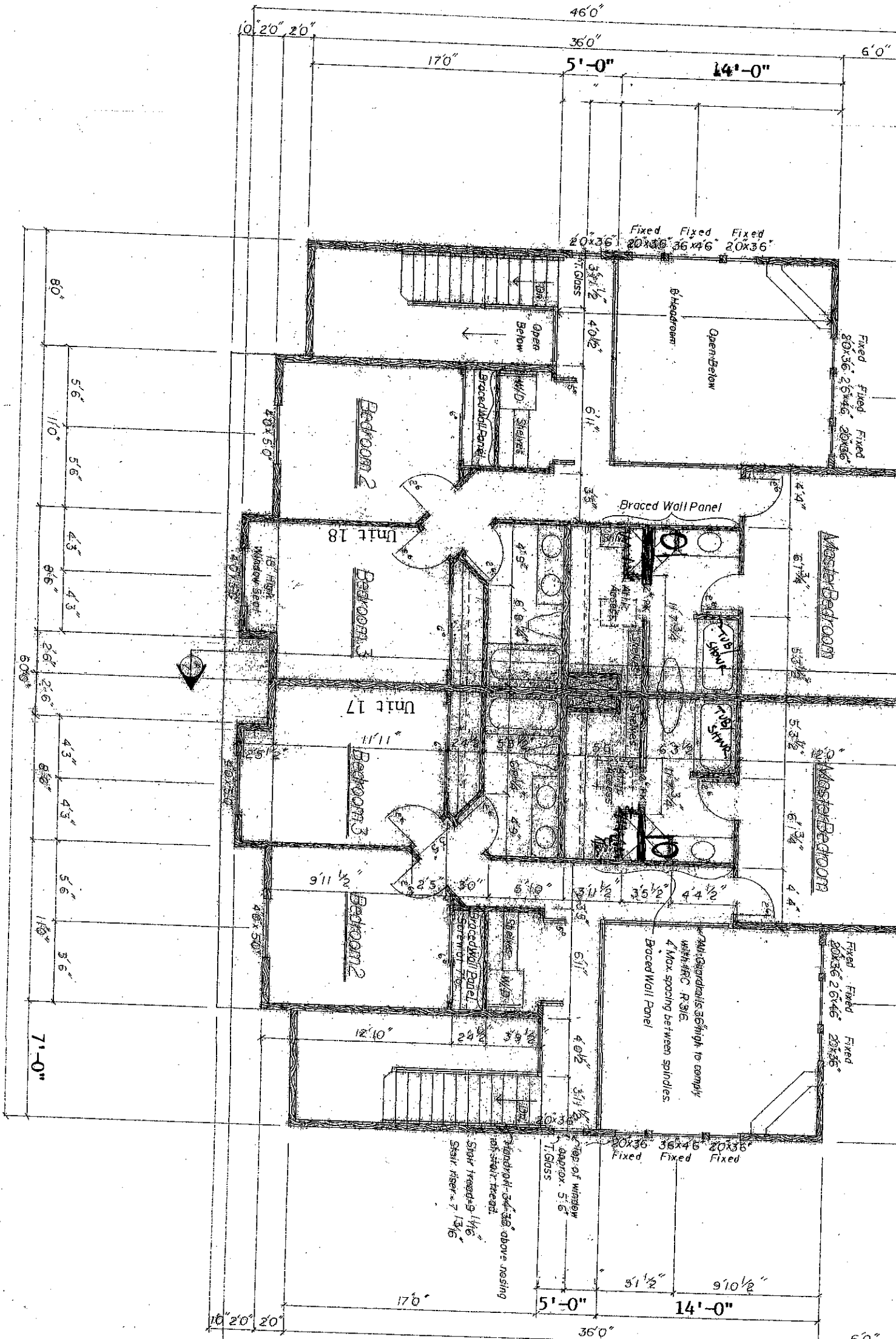
Project No.
 004-1109-2
 Scale:
 3/16" = 1'

GENERAL CONTRACTOR:
 Keith Baumgard
 302 Annie Glade
 Bozeman, MT 59716
 phone #: 581-9573 fax #: 581-9573
THIS OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN AND DOES NOT GUARANTEE THE RESULTS OF ANY INVESTIGATION OR CONSTRUCTION.

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 DRAFTING
 Stoneridge
 2155 Ch...
 Bozeman,
 408-...

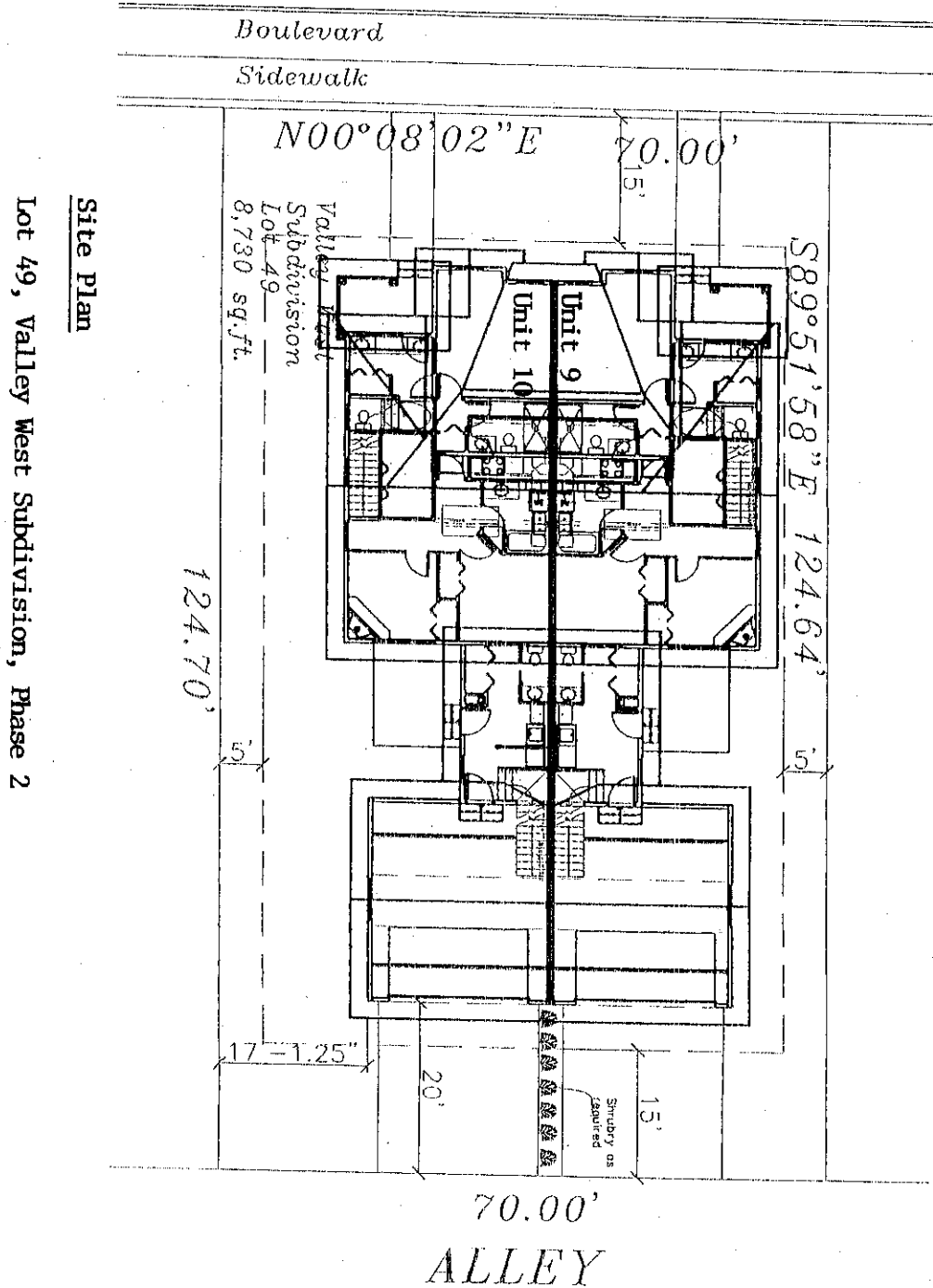
www.impactdrafting.com

EXHIBIT E
PAGE 10 OF 10
(Floor Plan Units 17 and 18)



CHASE-SKAGEN
SCALE: 1/8" = 1'-0"
DESIGNED BY: CHASE-SKAGEN

KIMBALL AVE.



Site Plan

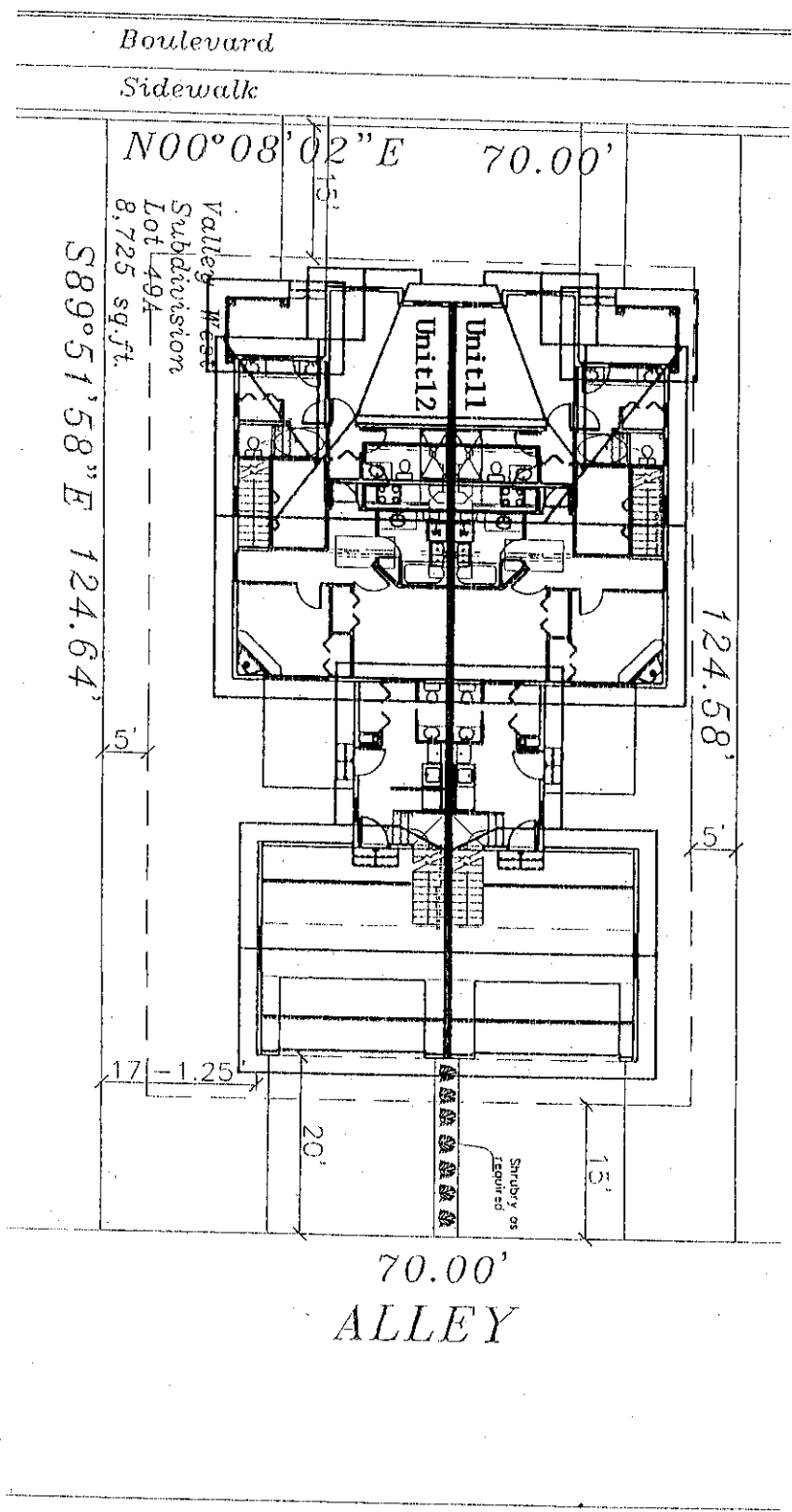
Lot 49, Valley West Subdivision, Phase 2

This plan drawn in accordance with the International Residential Code* General Contractor is expressly responsible for code adherence

1 9 Lot 49 Site 210P	© 2007 IMPACT 392 Annie Glade Bozeman, MT 59716 Phone: 406-581-9573 Fax: 406-581-9573 www.impcoldrafting.com	Project No. B04-0608-1	GENERAL CONTRACTOR: Keith Bourgaard 392 Annie Glade Bozeman, MT 59716 Phone: 406-581-9573 Fax: 406-581-9573 www.impcoldrafting.com
		Scale: 1/8" = 1'	Valley West Venture #1 Lot 49 Kimball Ave. Bozeman MT



KIMBALL AVE.

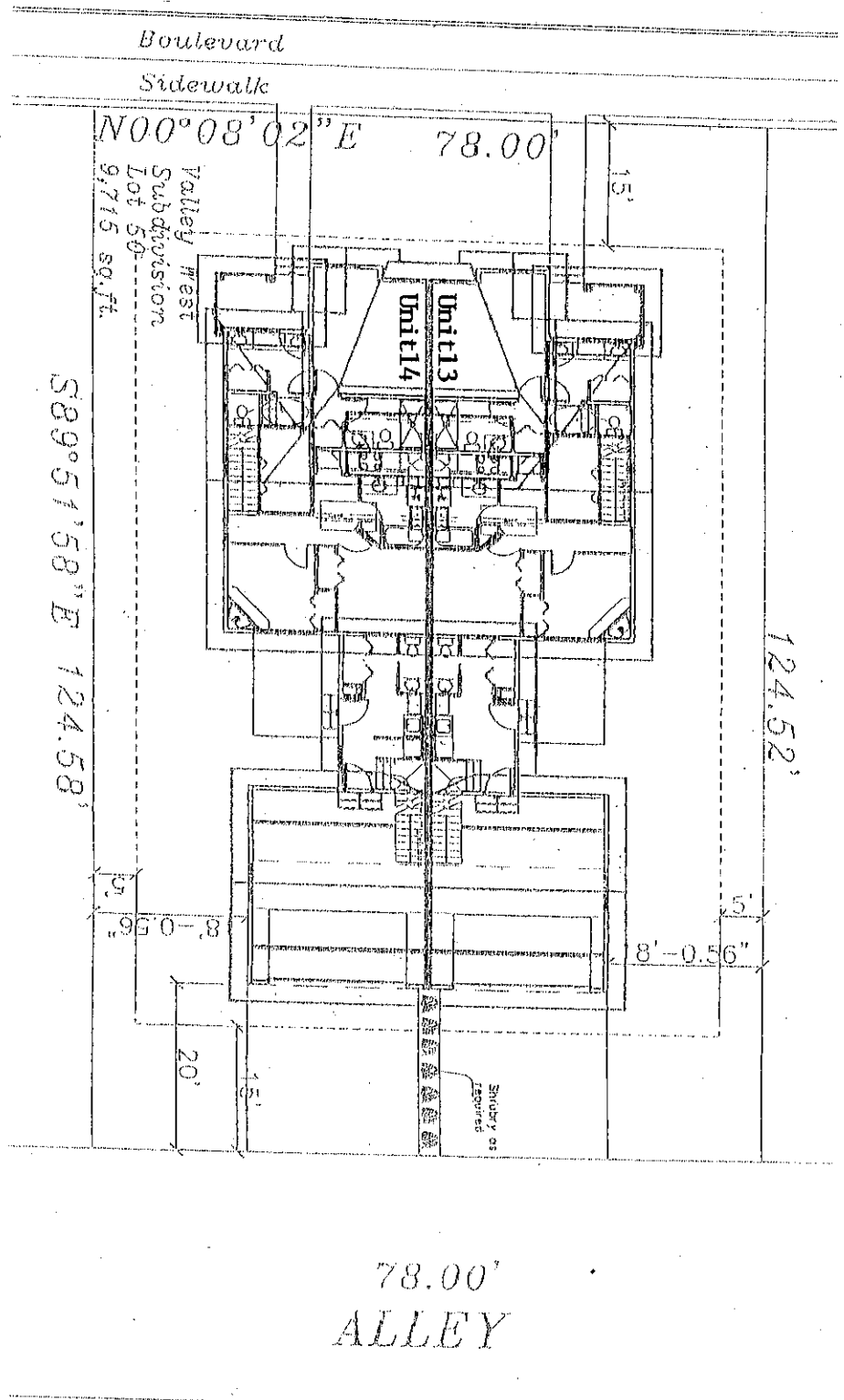


Site Plan
 Lot 49A, Valley West Subdivision, Phase 2

This plan drawn in accordance with the International Residential Code* General Contractor is expressly responsible for code adherence

1 6 Lot 49A Site Plan	© 2004 IMPACT Drafting & Design, Inc. 1000 N. 2nd St. Bozeman, MT 59718 Phone: 581-9573 Fax: 581-9573 www.impactdrafting.com	Project No. B04-0608-1 Scale: 1/8" = 1'	GENERAL CONTRACTOR: Keith Baumgard 392 Annie Glade Bozeman, MT 59718 phone #: 581-9573 fax #: 581-9573 *This is a preliminary drawing and is not intended for construction. All dimensions are subject to change without notice.	IMPACT DRAFTING Stonerick 2135 Bozeman 4 www.impactdrafting.com
	Valley West Venture #1 Lot 49A Kimball Ave. Bozeman MT	Design by: 12 JAN 04 Checked by: 12 JAN 04 Drawn by: 21 JAN 04 Date: 21 JAN 04		

KIMBALL AVE.

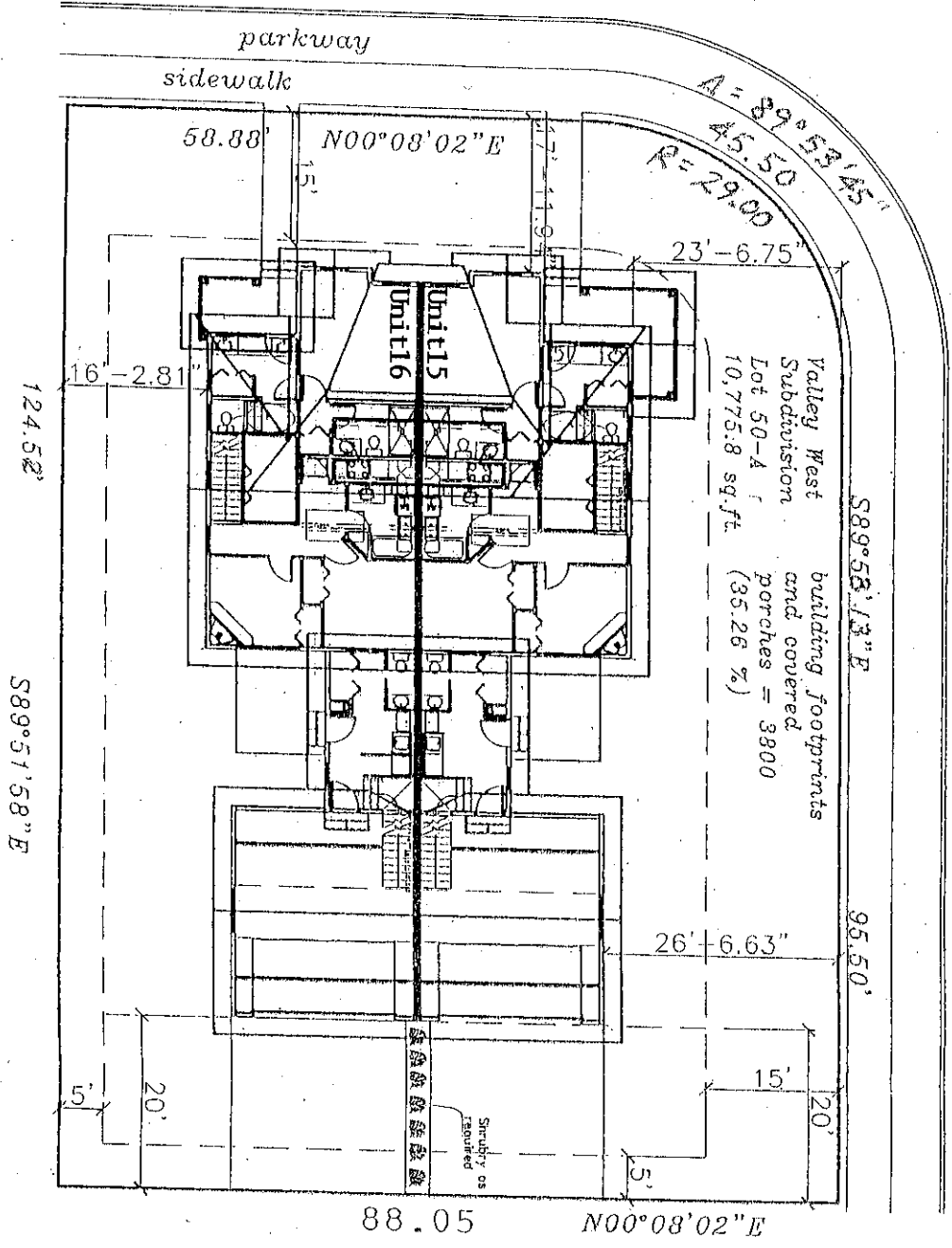


Site Plan
 Lot 50, Valley West Subdivision, Phase 2

This plan drawn in accordance with the International Residential Code. General Contractor's express responsibility for code compliance.

	1 5 Lot 50 Site Plan	© 2024 IMPACT 302 ANGLE GLADE BOZEMAN, MT 59718 PHONE 406-581-8573 WWW.IMPACTDRAFTING.COM	Project No. B04-0600-1	GENERAL CONTRACTOR: Keith Boungord 302 ANGLE GLADE BOZEMAN, MT 59718 PHONE 406-581-8573 WWW.IMPACTDRAFTING.COM	
			Valley West Venture #1 Lot 50 Kimball Ave. Bozeman MT Jeremy Swanson	Scale: 1/8" = 1'	

KIMBALL AVENUE



Site Plan
 Lot 50A, Valley West Subdivision, Phase 2

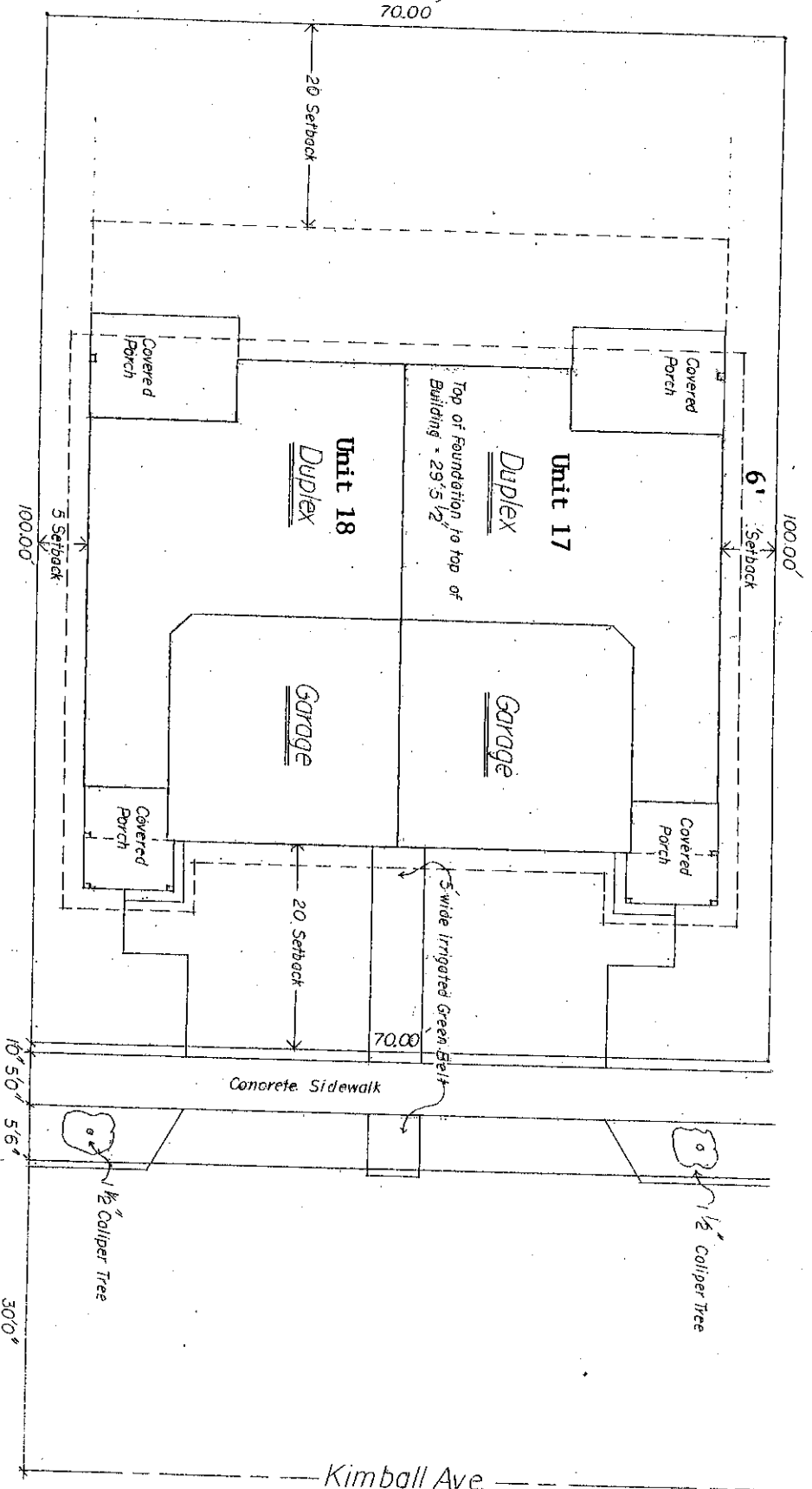
ALLEY

Legal Description
 Lot 50A, Valley West Subdivision, Phase 2

This plan drawn in accordance with the International Residential Code* General Contractor is expressly responsible for code adherence

© 2004 IMPACT Drafting & Design 2135 Cheyenne Bozeman, MT 59718 Phone: 406-581-9573 Fax: 406-581-9573 www.impactdrafting.com	Project No. B04-1109-2	IMPACT DRAFTING & DESIGN 2135 Cheyenne Bozeman, MT 59718 406-581-9573 www.impactdrafting.com
	Scale: 1/8" = 1'	
Valley West Venture #1 Lot 50A Kimball Ave. Bozeman MT		GENERAL CONTRACTOR: Keith Baumgard 382 Annie Glade Bozeman, MT 59718 phone #: 581-9573 fax #: 581-9573 *IMPACT DRAFTING & DESIGN IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL INFORMATION.

EXHIBIT F
 Page 5 of 5
 (Site Plan Units 17 and 18)



CHASE
 Lot 43
 Valley
 S. 1/2 N
 T2S, R
 City of

CHASE SKOGAN HOMES DUP
 Scale: 1/8" = 10'
 Designed by CNH Envrnm
 NOV. 2004

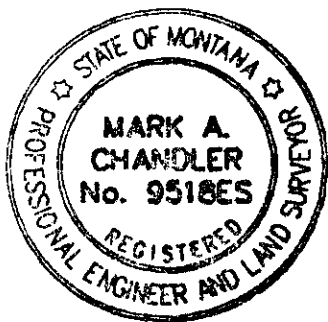
EXHIBIT G

CERTIFICATE OF FLOOR PLAN

The undersigned, being a duly registered professional Engineer in the State of Montana, having reviewed the floor plans for CARDINAL CONDOMINIUM attached to this Declaration, herewith certifies the following:

That the floor plans for the CARDINAL CONDOMINIUM situated on Lots 43, 44, 44A, 46, 46A, 49, 49A, 50 and 50A of Valley West Subdivision, Phase 2, Gallatin County, Montana, according to the official plat thereof on file and of record in the office of the County Clerk and Recorder of Gallatin County, Montana, are an accurate copy of the plans filed with and approved by the officials and officers of the City of Bozeman having jurisdiction to issue building permits. Such floor plans render hand representation of the actual building.

Dated: July 21, 2005.



Mark A. Chandler
By: Mark A. Chandler
Registered Professional Engineer
Number: 9518ES

 **2195328**
Page: 24 of 24
07/22/2005 03:04P
Shelley Vance-Gallatin Co MT MISC 188.00